

ACCESSORY STRUCTURES APPLICATION GUIDE

SUBMISSION PROCEDURE

- Submit the completed application packet with payment (per the fee schedule) to the Planning & Zoning Department (checks payable to City of Tallmadge).

The application packet, must include the following:

- Completed application (2 pages) signed by the applicant.
- Site Plan showing placement of structure— See example below
 - Must show dimensions of property, easements and/or Riparian setbacks if applicable, all structures on property and proposed structure with measurements to property lines.
- Elevated structure plans
- Any additional documents, as applicable.

- It is the property owner’s responsibility to locate property lines and to verify compliance with any homeowner’s association/ deed restrictions, when applicable.
- When the project is staked out or placed on property, call 330-633-0090 for inspection for Zoning compliance.

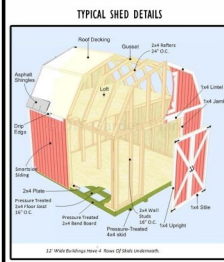
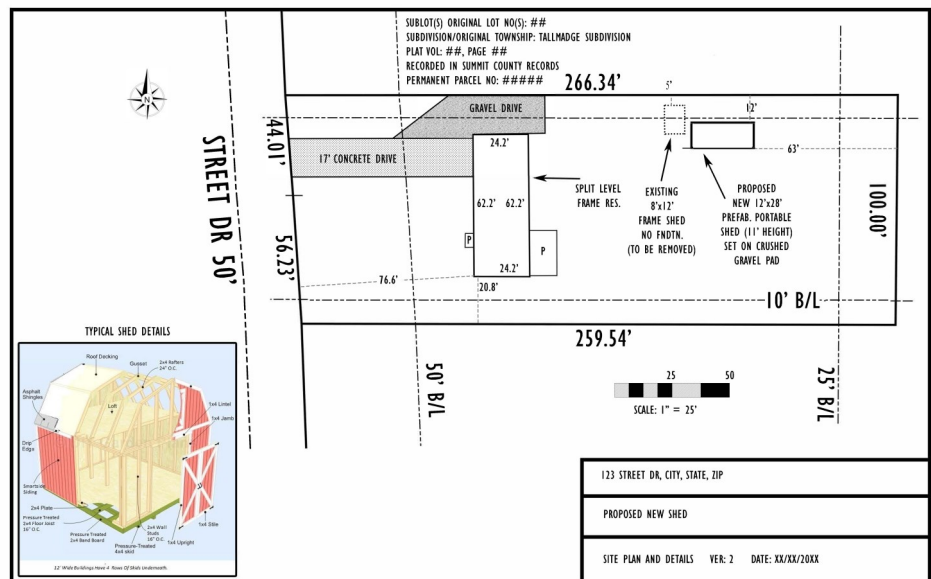
Refer to Section 1104.08 of the City of Zoning Code for complete summary of specific use requirements.

- An accessory use or structure shall be incidental to the primary use of the lot and shall not alter the character of the principal use.
- Accessory uses and structures shall be constructed on the same lot as the principal use that it serves.
- No accessory structure shall be constructed on any lot until the construction of the principal structure has commenced. In cases where the main or principal structure is demolished, an existing accessory structure shall be allowed to remain on the lot or property without the main structure to which it is supposed to be an accessory on the following conditions:

- (1) Up to 12 months consistent with that allowed by section 1102.19: Nonconformities.
- (2) A zoning certificate and building permit is obtained for the reconstruction of the main or principal structure, the construction of which shall take place within 12 months. Failure to reconstruct the main or principal structure will be an automatic cause for the removal of the accessory structure at the owner’s expense.

- Small accessory structures such as doghouses, benches, garden decorations, barbeque equipment, etc. shall be exempt from the provisions of this section provided they do not have a footprint that exceeds 50 square feet.
- Gardens and the raising of crops for the personal use of the residents, tenants, or property owners, may be grown in any yard, without a permit.
- An accessory structure that is attached to the principal building shall be considered an integral part of the principal building and shall comply with the site development standards and all other development standards for the principal building in the applicable zoning district. Any accessory structure shall be considered as an integral part of the principal building if it is connected to the principal building by common walls. However, connection by a breezeway or roof shall not make the accessory structure, nor the breezeway or roof, considered as an integral part of the principal structure.

Site Plan Example



- Height Limit: Unless otherwise stated, the maximum height of a detached accessory structure shall be 20 feet. In no case shall an accessory structure exceed the height of the principal building.
- Number and Size Requirements
 - (1) Residential Lots
 - i. Accessory Structures for Lots under 1.0 acres:
 - (a) Maximum lot coverage of all accessory structures shall not exceed 50 percent of the total area of the side and rear yards, provided that, in residential districts, the total floor area does not exceed a maximum of 2,500 square feet.
 - (b) Accessory uses and structures shall not exceed 60 percent of the gross floor area (GFA) of the principal use.
 - ii. Accessory Structures for Lots of 1.0 acres or more
 - (a) Maximum lot coverage of all accessory structures shall not exceed a maximum of 2,500 square feet.
 - (2) Within nonresidential districts, accessory structures, except for carports, are prohibited within the side and rear yards of lots adjacent to a residential district. The total floor area of all accessory structures shall not exceed 2,500 square feet.
 - i. For computing the total area, if a detached accessory building is connected to the principal building by a breezeway or other similar structure, the ground area of such breezeway shall be considered as a part of the accessory building and shall be included in the computation.
 - ii. Accessory structures as indicated in Table 1104.6 Accessory Uses shall be considered as part of the maximum lot coverage requirements, including other accessory buildings similar in nature to the identified structures, as determined by the Zoning Administrator.
- Setback and Location Requirements
 - (1) Unless otherwise required in this section, accessory uses and structures less than or equal to 200 sq.ft. shall be set back a minimum of five feet from all lot lines. Setbacks for accessory uses and structures more than 200 sq.ft. shall be the same as the setbacks required for the principal building.
 - (2) Additional setbacks may be required from the principal building, adjacent structures, or streets based on the applicable building or fire code regulations.
 - (3) No detached accessory structure shall be located less than ten feet from the principal building. If the separation of the accessory and main structure is less than ten feet, the accessory structure shall be protected with a fire-resistant material and shall conform to the same yard requirements as the principal building.
 - (4) Detached accessory structures shall not be located in the front yard, except that porches, patios, and decks associated with the primary entrance of a principal building shall be permitted, and roadside stands may be permitted subject to use-specific standards. Detached accessory structures may be located in the required rear yard and the side yard when behind the front façade of the principal building.
- Prohibited Structures for Accessory Uses
 - (1) Except as provided in code, the use of inflatable garages or storage structures, portable carports or garages that are not permanently anchored into a foundation, temporary structures as defined in this chapter, portable containers, shipping containers, and semi-tractor trailers used for storage (with or without wheels) shall not be used as permanent accessory structures in any zoning district.



PLANNING & ZONING DEPARTMENT | 46 NORTH AVE, TALLMADGE, OH 44278 | P 330.633.0090 | F 330.633.1359 | ZONING@TALLMADGE-OHIO.ORG | WWW.TALLMADGE-OHIO.ORG

OFFICE USE ONLY			
RCT		FEE	
<input type="checkbox"/> PZ	<input type="checkbox"/> SVC	<input type="checkbox"/> STR	<input type="checkbox"/> UTIL
<input type="checkbox"/> ENG	<input type="checkbox"/> B/C		

PLANNING & ZONING CERTIFICATE APPLICATION

BASIC APPLICATION REQUIREMENTS (See the appropriate application guide for any additional requirements)

- Completed & Signed Application Form
 Application Fee
 Plot Plan
 Building Plan
 Additional per Application Guide

APPLICATION TYPE (Check all that apply)

SITE DEVELOPMENT		DEVELOPMENT	USE PERMIT
<input type="checkbox"/> Residential Construction	<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Preliminary Plat/RePlat	<input type="checkbox"/> Use & Compliance
<input type="checkbox"/> Non-Residential Construction	<input type="checkbox"/> Signage	<input type="checkbox"/> Final Plat	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Demolition	<input type="checkbox"/> Engineering Review	<input type="checkbox"/> Minor Subdivision	<input type="checkbox"/> Similar Use

PROJECT DETAILS

PROJECT: _____

PROJECT ADDRESS/LOCATION _____

EXISTING CONDITIONS	PROPOSED PROJECT DETAILS, WHERE APPLICABLE
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ACREAGE: _____ NO. OF LOTS _____ SQ.FT OF PROPOSED STRUCTURE: _____

ZONING DISTRICT: _____ PROPOSED ZONING DISTRICT: _____

EXISTING LAND USE: _____ PROPOSED LAND USE _____

CHECK ALL THAT APPLY AND PROVIDE DOCUMENTATION: _____ EST COST (TRACKING PURPOSE ONLY): _____

- EASEMENT
 FEMA FLOODPLAIN
 RIPARIAN
 WETLANDS

CONTACT INFORMATION

Applicant _____

Company _____

Address _____

Phone _____

Email _____

Architect/Engineer/Surveyor/Other: _____

Name _____

Company _____

Address _____

Phone _____

Email _____

Owner _____

Company _____

Address _____

Phone _____

Email _____

Architect/Engineer/Surveyor/Other: _____

Name _____

Company _____

Address _____

Phone _____

Email _____

SIGNATURES & ENDORSEMENTS

_____ I UNDERSTAND THAT I MUST CONTACT SUMMIT COUNTY DEPARTMENT OF BUILDING STANDARDS (330-630-7280) TO VERIFY BUILDING DEPARTMENT REQUIREMENTS FOR APPLIED PROJECTS.

_____ I UNDERSTAND THAT I MUST CONTACT THE CITY OF TALLMADGE ZONING DEPARTMENT WHEN THE PROJECT IS STAKED OUT FOR SETBACK COMPLIANCE. I AM RESPONSIBLE FOR DETERMINING PROPERTY LINES AND MAINTAINING THE APPROVED SETBACKS.

The undersigned hereby certifies that the information in and with this application is accurate, and consents to employees and/or agents of the City entering the premises for inspection verification of the information submitted.

Applicant's Signature _____ Date _____

Owner's Signature _____ Date _____

OFFICE USE ONLY	
REVIEWED BY: _____	DATE: _____
<input type="checkbox"/> APPROVED <input type="checkbox"/> APPROVED AS NOTED <input type="checkbox"/> DENIED	

ACCESSORY STRUCTURE APPLICATION

PROPERTY LOCATION: _____

Use: Residential Commercial Industrial

As applicable: PZC Approval BZA Approval HC Approval Date Granted: _____

PROJECT DETAIL

Is the property on a Corner? Yes No

STRUCTURE DETAILS

Describe the purpose of the Project

Structure measurements (including roof overhang):

Width of Structure: _____ ft

Length of Structure: _____ ft

Height from Grade: _____ ft

Existing Dwelling

Main/Ground Floor Area (Sq. Ft.) _____ sf

DWELLING	GFA* (sf)
1 STORY	_____ sf
1 ½ STORIES	_____ sf
2 STORIES	_____ sf

GFA-Gross Floor Area is the sum of the gross horizontal areas of all floors of a building, measured from exterior faces of the exterior walls of a building or from center line of a common wall separating two or more units of a building, including accessory storage areas, but not including space in cellars or basements.

SETBACKS

Locating property boundaries is the responsibility of the property owner. When unable to locate the boundaries, a survey by a certified surveyor should be completed.

Setbacks are measured from the property line to the closest point of the structure, which includes the roof overhang. All sides that front a street are considered front setbacks.

Left Setback _____ feet

Right Setback _____ feet

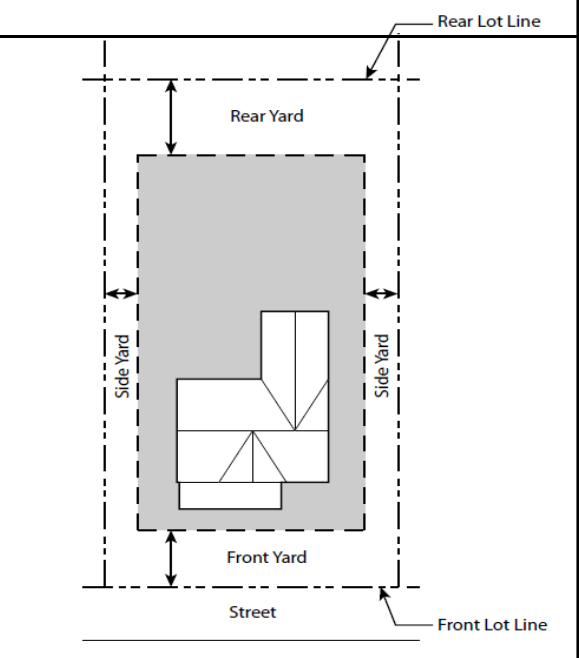
Rear Setback _____ feet

Front Setback _____ feet

Front Setback (corner lot) _____ feet

The determination of front, side and rear setbacks shall be determined by the lot configuration and relationship to the street or streets, and as illustrated below*:

*For other lot configurations see TCO 1110.07(C)



Approvals are solely based on information and plans submitted and becomes void if altered without prior approval of the Planning & Zoning Department. A Zoning Certificate under which no work is commenced within one (1) year shall expire per Section 1102.07 H of the Zoning Code.